

## ADMINISTRATIVE COMMITTEE

**Monday, June 13, 2016**  
**5:00 p.m.**

NOTICE IS HEREBY GIVEN that the Bountiful City Administrative Committee will hold its regular meeting in the Conference Room at City Hall, 790 South 100 East, Bountiful, Utah, at the time and on the date given above. The public is invited. Persons who are disabled as defined by the Americans with Disabilities Act may request an accommodation by contacting the Bountiful City Planning Office at 298-6190. Notification at least 24 hours prior to the meeting would be appreciated.

### AGENDA

1. Welcome and Introductions.
2. Consider approval of minutes for May 31, 2016.
3. **PUBLIC HEARING:** Consider approval of a Conditional Use Permit to allow for Solar Panels at 1973 South 1150 East, Donald Solze, applicant.
4. **PUBLIC HEARING:** Consider approval of a Conditional Use Permit to allow for a Home Occupation Contractor Business (plumbing) at 555 North 1200 East, Dan Rast, applicant.
5. **PUBLIC HEARING:** Consider approval of a Conditional Use Permit to allow for a Home Occupation Landscaping Business (flower bed maintenance) at 12 West 1800 South, Tiffani Hubbard, applicant.
6. Consider approval of a Conditional Use Permit, in written form, to allow for Solar Panels at 143 East 1400 South, Kevin Kellersberger, applicant.
7. Consider approval of a Conditional Use Permit, in written form, to allow for a Home Occupation Construction Business at 1682 South 1175 East, Darin Fenwick, applicant.
8. Miscellaneous business and scheduling.

  
Chad Wilkinson, City Planner

Pending minutes have not yet been approved by the Administrative Committee and are subject to change until final approval has been made.

**Bountiful City  
Administrative Committee Minutes  
May 31, 2016**

**Present:** Chairman – Chad Wilkinson; Committee Members – Lloyd Cheney and John Marc Knight; Assistant Planner – Andy Hulka; Recording Secretary – Julie Holmgren

**1. Welcome and Introductions.**

Chairman Wilkinson opened the meeting at 5:00 p.m. and introduced all present.

**2. Consider approval of minutes for May 23, 2016.**

Mr. Knight made a motion to approve the minutes for May 23, 2016. Mr. Cheney seconded the motion.

<u>A</u>	Mr. Wilkinson
<u>A</u>	Mr. Cheney
<u>A</u>	Mr. Knight

Motion passed 3-0.

**3. Consider approval of a Lot Line Adjustment at 3602 South Bountiful Boulevard and 3634 South Bountiful Boulevard, Richard & Alta Williams and John Tebbs, applicants.**

Richard Williams was present.

Andy Hulka presented a summary of the staff report (the full staff report follows).

The applicants are applying for a Lot Line Adjustment between their properties at 3602 S Bountiful Blvd (Lot 21) and 3634 S Bountiful Blvd (Lot 23) in Bountiful, Utah. Both properties are located in the R-3 Single-Family Zone. The purpose of the property line adjustment is to convey 222 square feet (approximately 0.005 acres) (Parcels A and C) from Lot 23 to Lot 21 and to convey 129 square feet (approximately 0.002 acres) (Parcel B) from Lot 21 to Lot 23, bringing Lot 21 to a total of 0.282 acres and Lot 23 to 0.383 acres. It should be noted that approval of the property line adjustment by the City does not act as a conveyance of real property and appropriate conveyance documents must be prepared and recorded by the county.

No new lots are being created in this transfer so this does not need to be an amended subdivision plat.

Both affected properties will meet the minimum lot size requirements for the R-3 zone.

There is a 7 foot public utility easement on either side of the existing property line. The lot line adjustment will not affect the existing easement.



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Based on findings, Staff recommends approval for a lot line adjustment, with the following condition:

1. The approved lot line adjustment is recorded with Davis County. **Note:** Approval of the property line adjustment does not act as a conveyance of property.

Mr. Williams explained that the lot line adjustment was mutually agreeable to both Tebbs and Williams, and they desired to legalize an informal agreement regarding adjustments to the property line which made it more useful to both parties.

Mr. Knight made a motion for approval of a Lot Line Adjustment at 3602 South Bountiful Boulevard and 3634 South Bountiful Boulevard, Richard & Alta Williams and John Tebbs, applicants. Mr. Cheney seconded the motion.

<u>A</u>	Mr. Wilkinson
<u>A</u>	Mr. Cheney
<u>A</u>	Mr. Knight

Motion passed 3-0.

Mr. Wilkinson reiterated that the City's approval of the lot line adjustment does not act as a conveyance of property. Mr. Williams noted his understanding of that. In addition, Mr. Williams asked regarding the typical number of lot line adjustments made in Bountiful. Mr. Wilkinson replied that they occur on a fairly regular basis. Mr. Knight noted that lot line adjustments occur for a variety of reasons.

**4. PUBLIC HEARING: Consider approval of a Conditional Use Permit to allow for Solar Panels at 143 East 1400 South, Kevin Kellersberger, applicant.**

Mike Moffitt (Blue Raven Solar), representing the applicant, was present.

Andy Hulka presented a summary of the staff report (the full staff report follows).

The property where the solar panels are to be installed is located in the R-4 Single Family Zone. Solar power panels are classified in the city ordinance as "private power plants" and require a conditional use permit if they are over 10 watts. The applicant has indicated that the photovoltaic system to be installed will produce 2.92 kilowatts (2,920 watts), requiring a conditional use permit.

The application submitted indicates the proposed installation of 5 photovoltaic arrays with a total of 11 panels. The arrays will occupy approximately 198.6 square feet, which is smaller than the 50% maximum roof coverage. Each of the arrays will be grouped together on the south facing portion of the roof over the front of the home. The roof is of truss construction, has a slope of 6:12, and has asphalt shingles that are 3 years old in acceptable condition. A review of information provided in the application indicates that all engineering requirements

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for the construction of solar panels in Bountiful City will be met. A reflection analysis of the roof pitch indicates that photovoltaic panels should not produce a reflection nuisance to surrounding properties.

Based on the findings, staff has determined that the applicant would comply with all requirements for the conditional use permit. Staff recommends approval of the conditional use permit with the following conditions:

1. The applicant shall obtain a building permit.
2. The panels must be installed only as proposed in the application.
3. This conditional use permit is solely for this site and is non-transferable.

**PUBLIC HEARING:** Chairman Wilkinson opened and closed the Public Hearing at 5:10 p.m. with no comments from the public.

Mr. Wilkinson asked Mr. Moffitt to clarify a section (shaded in pink) on the site plan diagram. Mr. Moffitt explained that the pink represents shade on the roof when the sun is in different locations so they know to avoid those areas in solar panel placement. Mr. Wilkinson asked if this refers specifically to shade caused by the roof at different times of day, and Mr. Moffitt affirmed. Mr. Wilkinson asked if the property owners had future plans to expand the project, and Mr. Moffitt said there are no future plans.

Mr. Cheney made a motion for approval of a Conditional Use Permit to allow for Solar Panels at 143 East 1400 South, Kevin Kellersberger, applicant. Mr. Knight seconded the motion.

<u>A</u>	Mr. Wilkinson
<u>A</u>	Mr. Cheney
<u>A</u>	Mr. Knight

Motion passed 3-0.

Mr. Knight asked for Mr. Moffitt's impressions regarding Bountiful's solar permitting process. Mr. Moffitt replied that although it is somewhat lengthy, it has helped their company be more efficient and they have learned and improved from the process.

5. **PUBLIC HEARING: Consider approval of a Conditional Use Permit to allow for a Home Occupation Construction Business at 1682 South 1175 East, Darin Fenwick, applicant.**

Darin Fenwick, applicant, was present.

Andy Hulka presented a summary of the staff report (the full staff report follows).

The property where the Home Occupation Construction Business is proposed is located in the R-3 Single Family Zone. Home Occupation Contractor Businesses in this zone are classified in the City Ordinance as requiring a Conditional Use Permit.



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The application submitted indicates that the property will be used as a residential office for a construction business. The applicant has indicated that he will be using a 100 square foot space in the home for the office. The applicant uses his personal truck for the business, which will be parked in the driveway or in the garage. The applicant will store all construction equipment in a commercial storage site in North Salt Lake. There will be no employees working on site. The applicant has indicated that no work will be performed on site, no product will be sold from the property, no equipment will be stored on site, and no customers will visit the site. There will be no signage on the property associated with the business. The use appears to be incidental and secondary to the use of the dwelling and shall not change the appearance, character, or condition of the property.

Based on the findings, staff has determined that the applicant would comply with all requirements for the conditional use permit. Staff recommends approval of the Conditional Use Permit with the following conditions:

1. The applicant shall maintain an active Bountiful City business license.
2. The Home Occupation will not create nuisances discernible beyond the premises (e.g. noise, dust, fumes, glare, traffic, etc.).
3. The use will comply with all applicable fire, building, plumbing, electrical, and life safety and health codes in the State of Utah, Davis County, and Bountiful City.
4. The Conditional Use Permit is solely for this site and is non-transferable.

**PUBLIC HEARING:** Chairman Wilkinson opened and closed the Public Hearing at 5:15 p.m. with no comments from the public.

Mr. Knight reviewed some of the City's guidelines regarding home occupation businesses, namely no signage, restricted equipment parking, and no congregation of employees. He further explained that the spirit of the conditional use permit is that no one knows there is a business being operated out of the home.

Mr. Cheney made a motion for approval of a Conditional Use Permit to allow for a Home Occupation Construction Business at 1682 South 1175 East, Darin Fenwick, applicant. Mr. Knight seconded the motion.

  A       Mr. Wilkinson  
  A       Mr. Cheney  
  A       Mr. Knight

Motion passed 3-0

**6. Consider approval of a Conditional Use Permit, in written form, to allow for Solar Panels at 1934 South 850 East, Aaron Malmstrom, applicant.**

Mr. Cheney made a motion for approval of a Conditional Use Permit, in written form, to allow for Solar Panels at 1934 South 850 East, Aaron Malmstrom, applicant. Mr. Knight seconded the motion.

**Pending minutes have not yet been approved by the Administrative Committee and are subject to change until final approval has been made.**

A Mr. Wilkinson  
A Mr. Cheney  
A Mr. Knight

Motion passed 3-0

**7. Miscellaneous business and scheduling.**

Mr. Wilkinson ascertained there were no further items of business. The meeting was adjourned at 5:18 p.m.

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Chad Wilkinson, City Planner





MAYOR  
RANDY LEWIS

CITY COUNCIL  
RICHARD HIGGINSON  
BETH HOLBROOK  
JOHN M. (MARC) KNIGHT  
KENDALYN HARRIS  
JOHN PITT

CITY MANAGER  
GARY R. HILL

## **Memo**

Date: June 6, 2016  
To: Administrative Committee  
From: Andy Hulka, Assistant Planner  
Re: Staff Report for the Administrative Committee Meeting on Monday, June 13, 2016

## **Overview**

3. **PUBLIC HEARING** - Consider approval of a Conditional Use Permit to allow for Solar Panels at 1973 South 1150 East, Donald Solze, applicant.

## **Item #3**

### **Background**

The property where the solar panels are to be installed is located in the R-3 Single Family Zone. Solar power panels are classified in the city ordinance as "private power plants" and require a conditional use permit if they are over 10 watts. The applicant has indicated that the photovoltaic system to be installed will produce 5.83 kilowatts (5,830 watts), requiring a conditional use permit.

### **Findings**

The application submitted indicates the proposed installation of 3 photovoltaic arrays with a total of 22 panels. The arrays will occupy approximately 476 square feet, which is smaller than the 50% maximum roof coverage. The first array on the south facing portion of the roof will include 8 panels, the second array on the east facing portion of the roof will include 11 panels, and the third array on the east facing portion of the roof will include 3 panels. The roof is of truss construction, has a slope of 7:12, and has asphalt shingles that are in poor condition. The panels will be connected to the roof with a Snap N Rack mounting system. A review of information provided in the application indicates that all engineering requirements for the construction of solar panels in Bountiful City will be met. A reflection analysis of the roof pitch indicates that photovoltaic panels should not produce a reflection nuisance to surrounding properties.

### **Staff Recommendation**

Based on the findings, staff has determined that the applicant would comply with all requirements for the conditional use permit. Staff recommends approval of the conditional use permit with the following conditions:

1. The applicant shall obtain a building permit.
2. The panels must be installed only as proposed in the application.
3. This conditional use permit is solely for this site and is non-transferable.

Note: Based on the deteriorated condition of the shingles, staff suggests that the owner replace the asphalt shingles before installing solar panels.

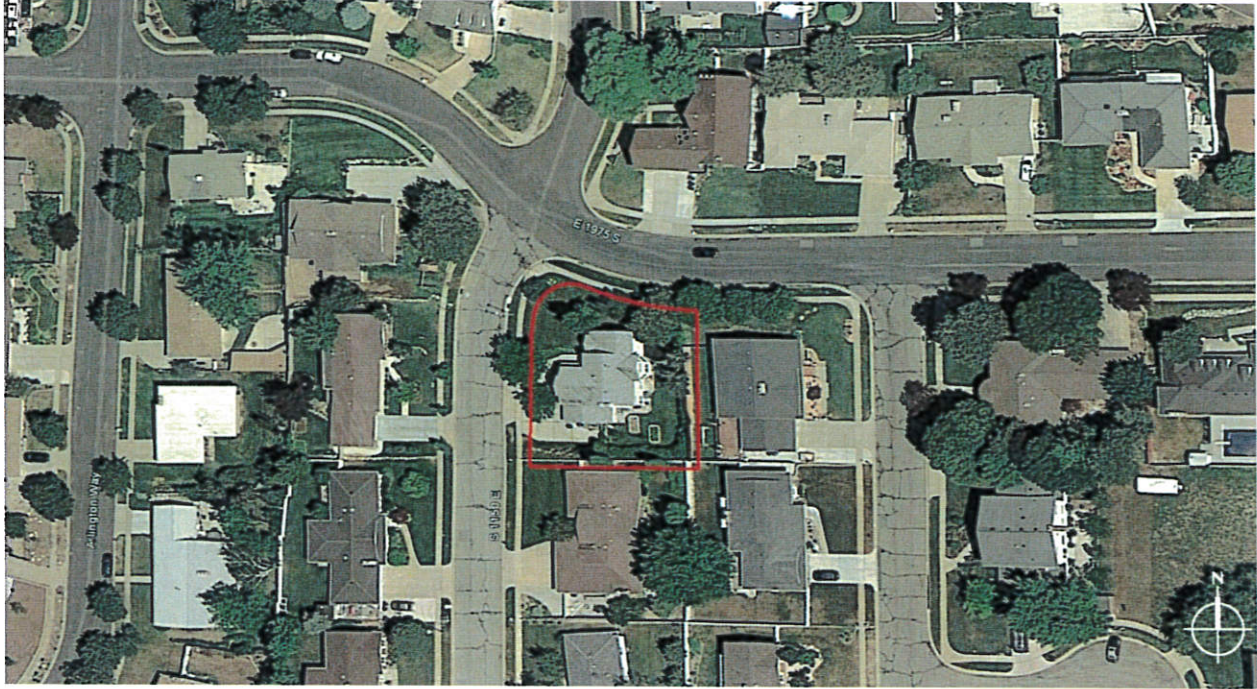
### **Bountiful Land Use Ordinance**

#### **14-14-126 PRIVATE POWER PLANTS**

- A. A "Private Power Plant" is any device or combination of devices not owned and operated by a regulated utility company, which convert mechanical or chemical energy into electricity. A private power plant with a peak power generation capacity of 10 Watts/12v/500mA (or equivalent) is exempt from the provisions of this Section. A private power plant, including a windmill or wind turbine, shall not be permitted within Bountiful City limits, with the following exceptions:
1. A back-up power generator running on unleaded gasoline, diesel, natural gas, propane, or hydrogen fuel cell, rated for a single structure or building lot, located in accordance with the requirements of the zone in which it is located.
  2. A photovoltaic cell array or other passive solar energy system located in accordance with the requirements for occupied structures for the zone in which it is located.
- B. With the exception of a back-up power generator, no private power plant may be installed or used on any property unless a conditional use permit has been issued for the specific power generation device.
- C. A private power plant is not exempt from the height requirements of the Zone in which it is located, and shall be considered an occupied structure for the purposes of calculating height.
- D. Solar energy design standards and requirements
1. Solar energy panels or collectors that are mounted to the roof shall:
    - a. Not extend beyond the roofline.
    - b. Not reflect sunlight onto neighboring windows or rights-of-way.
    - c. Not exceed fifty (50) percent of the total roof area.
    - d. Shall be maintained in good condition.
  2. Prior to installation, use, and connection to the grid, the following shall be done:
    - a. A Conditional Use Permit shall be issued
    - b. A Building Permit shall be issued
    - c. The Power Department shall approve the application for net metering
    - d. The Power Department shall approve the physical installation



# 1973 S 1150 E





For Office Use Only

Date Rec'd 6-1-16

Admin Date 6-13-16

Application \$ 50

## SOLAR PANEL - CONDITIONAL USE PERMIT APPLICATION

### PROPERTY OWNER INFORMATION:

Property Owner Name(s): Donald Solze

Property Address: 1973 S 1150 E

Property Owner Phone Number: 801-300-0973

Property Owner E-Mail: donaldsolze@hotmail.com

*(Property Owner(s) - please sign Authorization and Affidavit on page 2)*

### SOLAR CONTRACTOR INFORMATION:

Solar Company Name: Solar Ready Solutions

Company Address: 1150 N Highway 89 Suite B

Company Phone Number: 575-491-6560

Contact Person for Solar Project: Douglas Clayton

E-Mail Address: doug.c@solarreadysolutions.solar

### 1. Please include the following with your application:

☒ **\$50.00 Fee:** Conditional Use Permit Application (Administrative Committee)



☒ **SITE PLAN:** Two (2) 11"x17" sized sets of the proposed site plan drawn at 1:10 scale or as required by the City Engineer and City Planner. A site plan shall include:

- Plan view (bird's-eye) of site with placement of solar panels.
- A north arrow, the scale of the drawing, and the date of the drawing.
- Street names and addresses.

**FOR GROUND-MOUNTED SOLAR ARRAYS, THE FOLLOWING:**

- Property lines with dimensions.
- All sidewalks, driveways, curbs and gutter, and parking areas.
- All existing easements, rights-of-way, and any other restrictions on the use of the property.
- Existing buildings, proposed buildings, and other significant features on the site.
- Existing buildings and significant features located on adjacent properties within 50 feet (50') of the subject property boundaries.
- When required by the City Planner or City Engineer, and for all new construction, a survey including both existing and proposed contours of the land at intervals of two feet (2') or better.

☒ **ONE-LINE DIAGRAM** (or electrical diagram or block diagram): Two (2) 11" x 17" sets (diagram must follow Bountiful City Light & Power sample diagram included in the solar packet – attachment 2, page 3).

☒ **ENGINEER ANALYSIS LETTER** (including an analysis of the existing roof structure with added solar equipment and uplift resistance)

☒ **COMPLETED SOLAR PACKET FORMS:**

- ☐ Solar Panel Questions
- ☐ Photovoltaic System Net Metering Requirements (signed by property owner)
- ☐ Bountiful City Light & Power - diagram form
- ☐ Building Permit Application

☒ **SPEC SHEETS:** Solar product information

☒ **PHOTO:** Electrical service (meter main with disconnect)

## 2. Property Owner Authorization and Affidavit

The undersigned, being duly sworn, depose that I am (we are) the owner(s) of the property involved in this application and that the statements contained herein and by attachment, are to the best of my (our) knowledge true and correct.

DocuSigned by:



93965242C366445

Property Owner

Property Owner



MAYOR  
 Randy C. Lewis  
 CITY COUNCIL  
 Kendalyn Harris  
 Richard Higginson  
 Beth Holbrook  
 John M. Knight  
 John Pitt  
 CITY MANAGER  
 Gary Hill

## SOLAR PANEL QUESTIONS

Please completely answer all questions (do not simply refer to an attachment)

<b>Size of Array</b>	
Array Dimensions Total Number of Panels Total rating of photovoltaic system:	Array 1: 10' x 5' 6"; Array 2: 16' 8" x 14' 4"; Array 3: 16' 8" x 11' 22 5.83 KW
<b>Mounting Location</b>	
Roof/Wall/Other	Roof Mounted
Roof Pitch (Rise/Run e.g. "5/12")	7/12
Roofing Material Asphalt Shingle/Tile/Steel/Other Age & Condition of Shingles	Asphalt Shingles Poor Condition
Roof Construction Rafter/Truss/Joist	Truss
<b>Engineering Analysis</b>	
Connection to Roof	SnapNRack L Foot Series 100 Residential Roof Mount System Design Mount CS-R
Analysis of Existing Roof Structure with added Solar Equipment	With an assumed roof dead load of 15 psf, solar panel dead load of 3 psf, and affected roof area of 40% (maximum), the additional dead load (and consequential seismic load) will be 5.8%.
Adequate Uplift Resistance (120 mph Exp B)	Design wind speed for risk category II structures: 155 mph (3-sec gust) Wind exposure Category C. The design wind speed may be converted to an ASCE 7-05 equivalent of 120 mph, exposure C



UTAH OFFICES  
Sandy  
Layton  
St. George

Project Number: U1933-0095-161

May 25, 2016

Knight Lighting & Solar  
1150 N. Hwy 89, Suite K  
Ogden, Utah 84404

ATTENTION: Jay Knight

REFERENCE: Solze Residence: 1973 S 1150 E, Bountiful, UT 84010  
Solar Panel Installation

Dear Mr. Knight:

Per your request, we have reviewed photos relating to the installation of solar panels at the above-referenced site.

Based upon our review, it is our conclusion that the installation of solar panels on this existing roof will not adversely affect the structure of this house. The design of the solar panel supporting members and connections is by the manufacturer and/or installer. The adopted building code in this jurisdiction is the 2012 International Building Code and ASCE 7-10. Appropriate design parameters which must be used in the design of solar panel supporting members and connections are listed below:

- Ground snow load: 53 psf per Utah amendments to the IBC (verify with local building department)
- Design wind speed for risk category II structures: 155 mph (3-sec gust)
- Wind exposure: Category C

If using documents referencing ASCE 7-05, the design wind speed may be converted to an ASCE 7-05 equivalent of 120 mph, Exposure C.

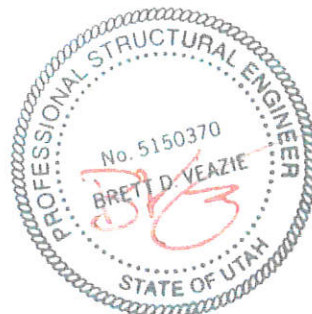
Our conclusion regarding the adequacy of the existing roof is based on the fact that the additional weight related to the solar panels is less than 3 pounds per square foot. In the area of the solar panels, no 20 psf live loads will be present. Regarding snow loads, it is our conclusion that since the panels are slippery and dark, effective snow loads will likely be reduced in the areas of the panels. Regarding wind loads, we conclude that any additional forces will be negligible due to the low profile of the flush-mounted panel system. Regarding seismic loads, we conclude that any additional forces will be small. With an assumed roof dead load of 15 psf, solar panel dead load of 3 psf, and affected roof area of 40% (maximum), the additional dead load (and consequential seismic load) will be 5.8%. This calculation conservatively neglects the weight of wall dead load. Because the increase is less than 10%, this alteration meets the requirements of the exception in Section 807.5 of the 2012 International Existing Building Code. Thus the existing structure is permitted to remain unaltered.

During design and installation particular attention must be paid to the maximum allowable spacing of attachments and the location of solar panels relative to roof edges. The use of solar panel support span tables provided by the manufacturer is allowed only where the building type, site conditions, and solar panel configuration match the description of the span tables. Attachments to existing roof joist or rafters must be staggered so as not to over load any existing structural member. Waterproofing around the roof penetrations is the responsibility of others. All work performed must be in accordance with accepted industry-wide methods and applicable safety standards. Vector Structural Engineering assumes no responsibility for improper installation of the solar panels.

Very truly yours,

VECTOR STRUCTURAL ENGINEERING, LLC

Brett D. Veazie, P.E.  
Project Engineer



05/25/2016

BDV/djf



# SOLZE RESIDENCE

## PHOTOVOLTAIC SYSTEM PROJECT - 5.83 kW DC

### CONTENTS

SHEET #	SHEET NAME
T-1	TITLE SHEET
PV-1	SITE PLAN LAYOUT
PV-2	ATTACHMENT DETAILS
E-1	ELECTRICAL DIAGRAM PG 1
E-2	ELECTRICAL DIAGRAM PG 2
E-3	WARNING LABELS
CS-M	MODULE SPEC SHEET
CS-I	INVERTER SPEC SHEET
CS-MP	MOUNTING PT. SPEC SHEET
CS-R	RACKING SPEC SHEET

**Owner:**  
DONALD SOLZE  
1973 S 1150 E  
Bountiful, UT 84010

**Solar Modules:**  
22 Hanwha Q.PEAK BLK-G3 265

**Inverters:**  
1 SMA SB 6.0-1SP-US-40 - 240V

**Racking:**  
SnapNack - Roof Mount System Hardware

(13 MOUNTING RAILS) - ALUMINUM RAILS = 13'-6" LENGTHS

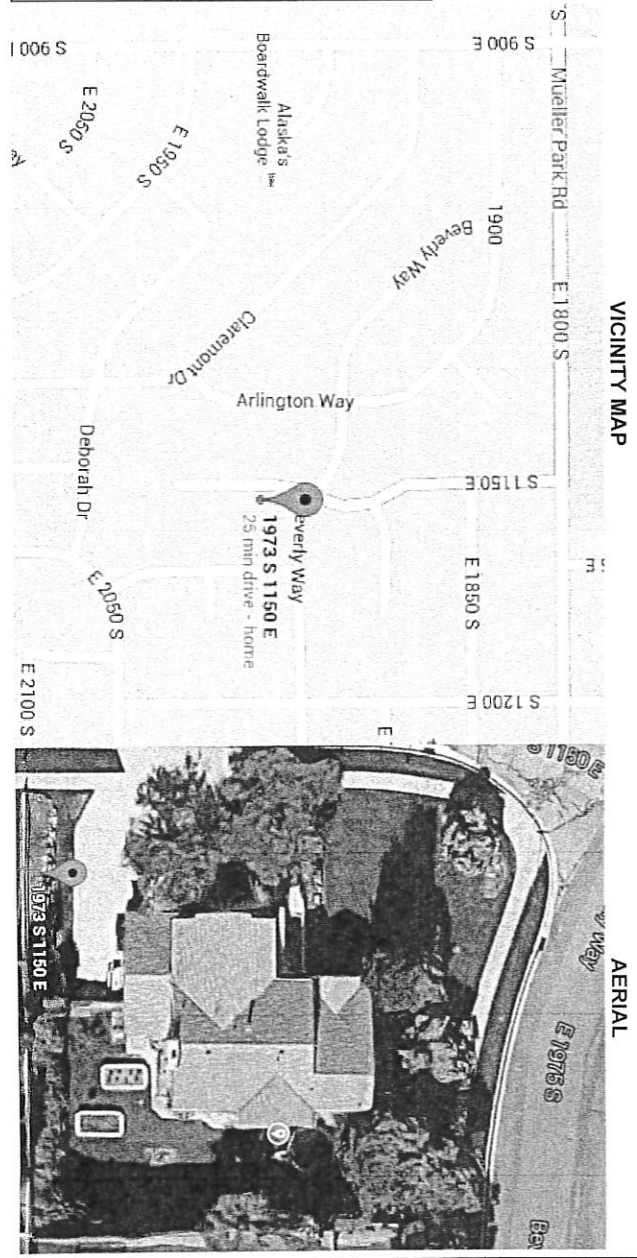
(28 END CLAMPS) - MODULE END CLAMP STANDARD

(36 MID'S CLAMPS) - MODULE MIDDLE CLAMP STANDARD

(60 MOUNTING POINTS) - QUICKMOUNT PV E-MOUNT FOR COMP. SHINGLE

### GENERAL NOTES

1. ROOF RAFTERS 2" x 4" DF ON 24"  $\pi$
2. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LATEST UT CODE OF REGULATIONS, NATIONAL ELECTRICAL CODE EDITION AND ALL APPLICABLE LOCAL CODES AND REGULATIONS. (Construction shall comply with UT Building Codes, 2011 NEC, and 2012 International Fire Code)
3. ALL PANELS, SWITCHES, ETC. SHALL HAVE SUFFICIENT GUTTER SPACE AND LUGS IN COMPLIANCE TO UL REQUIREMENTS TO ACCOMMODATE CONDUCTORS SHOWN
4. WHERE WIRE SIZES ARE INDICATED ON PLANS, FOR INDIVIDUAL CIRCUITS, THE WIRE SIZE INDICATED SHALL APPLY TO THE COMPLETE CIRCUIT, UNLESS OTHERWISE NOTED.
5. CONTRACTOR SHALL EXTEND WIRING FROM ALL JUNCTION BOXES, SWITCHES, ETC. AND MAKE FINAL CONNECTION AS REQUIRED TO ALL BUILDING EQUIPMENT REQUIRING ELECTRICAL CONNECTIONS.
6. DRAWINGS ARE DIAGRAMMATIC AND INDICATE GENERAL ARRANGEMENT OF SYSTEMS AND WORK INCLUDED. FOLLOW DRAWING IN LAYING OUT WORK AND CHECK DRAWINGS OR OTHER TRADES RELATING TO WORK TO VERIFY SPACE IN WHICH WORK WILL BE INSTALLED. MAINTAIN HEADROOM AND MINIMUM CODE REQUIRED WORKING CLEARANCES AT ALL TIMES.
7. ALL EXTERIOR ELECTRICAL DEVICES AND EQUIPMENT INCLUDING THOSE THAT ARE EXPOSED TO OUTSIDE ENVIRONMENT SHALL BE WEATHERPROOF TYPE, NEMA 3R
8. DISCONNECT SWITCHES SHALL BE MOUNTED ON INDIVIDUAL SUPPORTS, OR OTHERWISE DIRECTLY ON EQUIPMENT, PROVIDED
9. NO MODIFICATION TO EQUIPMENT IS NECESSARY. ALL ELECTRIC MATERIAL SHALL BE LISTED BY "UL" FOR THE TYPE OF APPLICATION AND "UL" LABEL SHALL APPEAR ON ALL ELECTRICAL EQUIPMENT.
10. WIRING METHOD SHALL BE EMT ABOVE GROUND AND MOUNTED IN CONCEALED SPACES (UNLESS APPROVED OTHERWISE) AND SCHEDULE - 40 PVC FOR BELOW GROUND INSTALLATION UNLESS NOTED OTHERWISE.



PV SYSTEM SIZE:  
5.83 kW DC

PV SYSTEM SITE PLAN  
SCALE: Custom

SOLZE RESIDENCE  
1973 S 1150 E  
Bountiful, UT 84010

SOLAR READY SOLUTIONS  
Last Modified: 5/12/2016

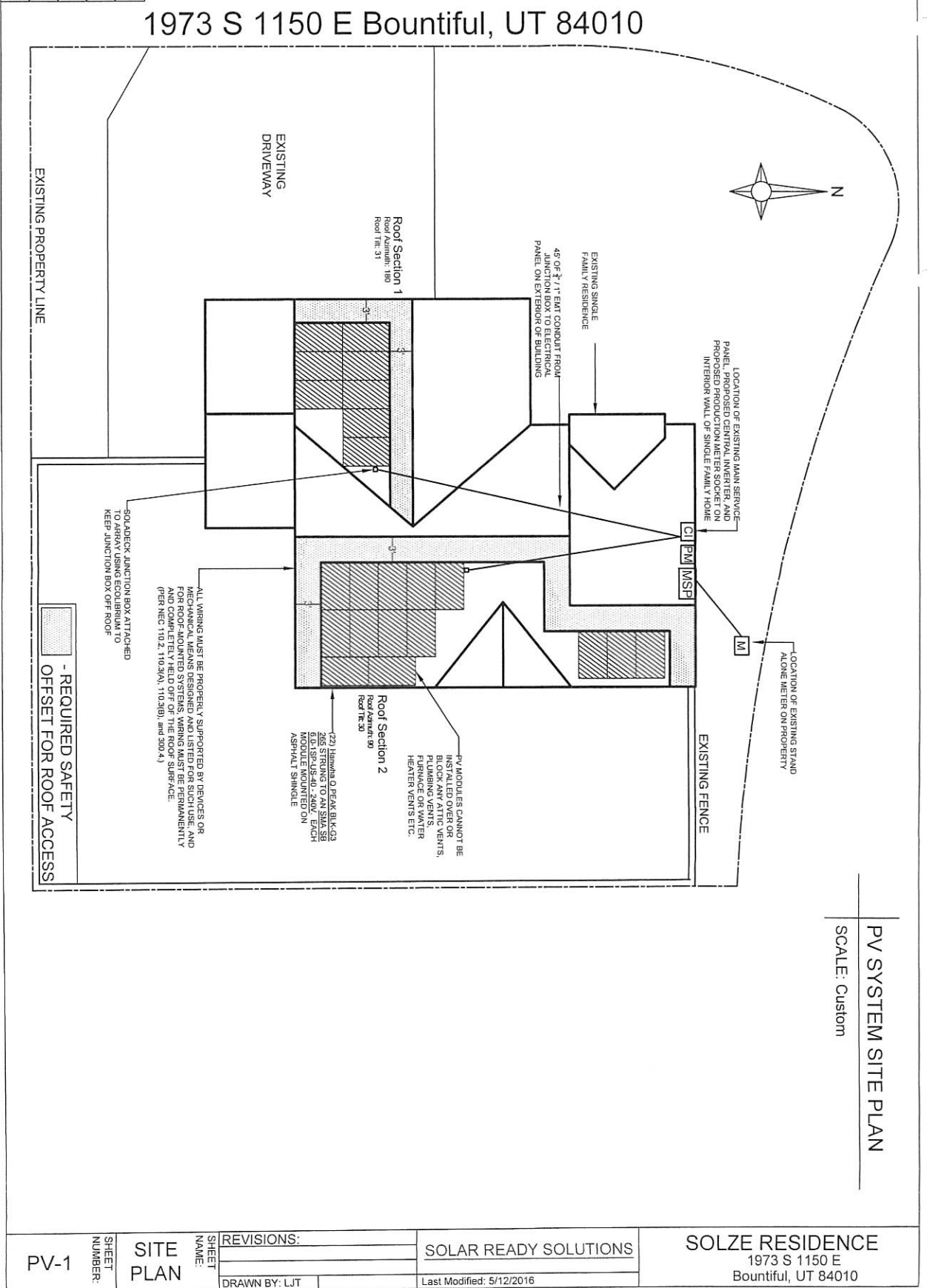
REVISIONS:  
SHEET NAME:  
DRAWN BY: LJT

SITE PLAN

PV-1

SHEET NUMBER:

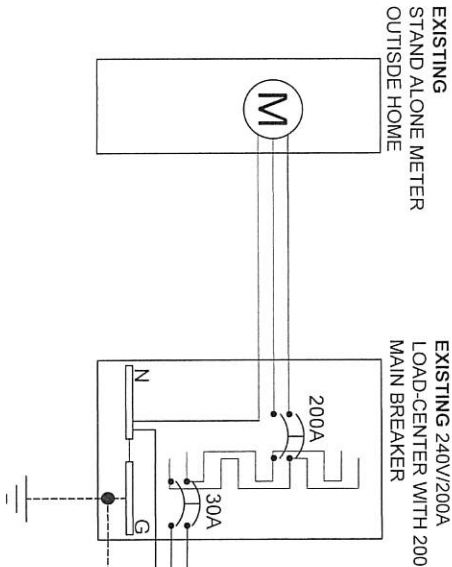
LEGEND	
CI	CENTRAL INVERTER
M	METER
PM	PRODUCTION METER
MSP	MAIN SERVICE PANEL



NOTE:

1. This system meets the requirements of NEC 690.35 and is exempt from the system grounding requirements of NEC 690.41 System Grounding.
2. The DC conductors are not bonded to ground.
3. NEC 690.43(C) Structure as Equipment Grounding Conductor allows for equipment to be used as the EGC in a photovoltaic system.
4. The devices listed and identified for grounding the equipment may be stand-alone grounding components or UL-2703 listed mounting hardware. Modules are bonded to the racking with listed and approved grounding components.
5. Equipment operating 150 volts or greater shall only be serviced or replaced by qualified personnel. Field protection may be in the form of conduit, closed cabinet or an enclosure which require use of tools to open.
6. Solar Photovoltaic System equipment will be installed in accordance with the requirements of Art. 690 of the 2013 NEC.
7. Local utility provider shall be notified prior to use and activation of any solar photovoltaic installation.
8. No sheet metal or tech screws shall be used to ground disconnect enclosure with tin-plated aluminum lugs; proper grounding/bar kits must be used.
9. All solar modules, equipment, and metallic components are to be grounded in accordance with code and the manufacturer's installation instructions.

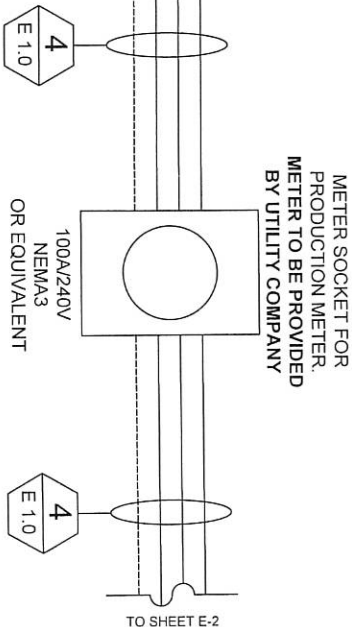
POINT OF DELIVERY  
AND INTERCONNECTION



CONDUCTOR SIZING CALCULATIONS:

INVERTERS TO MAIN PANEL  
25.0 A (MAX INVERTER OUTPUT CURRENT) x 1 (INVERTER) = 25.0 AMPS (USE #10 AWG)

NOTE: Module grounding method uses grounding clips and #6 bare copper wire from rail to rail back to the junction box. Use grounding mid and end clamps to ground each module to rails. The DC circuit is isolated and insulated from ground and meets the requirements of NEC 690.35



HANWHYA Q.PEAK BLK-G3 265:	
Vmp	30.94 VOLTS
Imp	8.65 AMPS
Voc	37.91 VOLTS
Isc	9.15 AMPS

Conduit and Conductor Schedule				
Tag	Description	Wire Gauge	# of Conductors	Conduit Type
1				
2	THWN-2	10 AWG	2 (L1, L2)	EMT
3	THWN-2 - Ground	10 AWG	1	EMT
4	THWN-2	10 AWG	3 (L1, L2, N)	EMT
4	THWN-2 - Ground	10 AWG	1	EMT

E-1

ELEC.  
DIAGRAM  
PG 1

SHEET  
NAME:

REVISIONS:

DRAWN BY: LJT

SOLAR READY SOLUTIONS

Last Modified: 5/12/2016

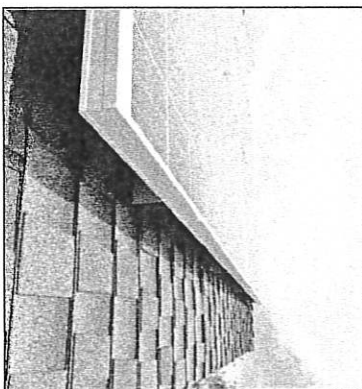
SOLZE RESIDENCE  
1973 S 1150 E  
Bountiful, UT 84010



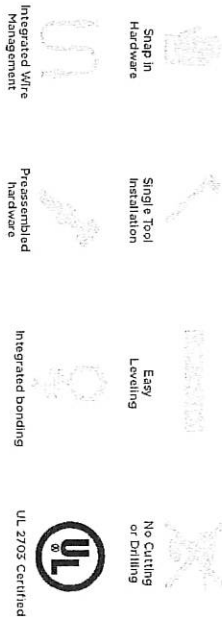
## Series 100 Residential Roof Mount System

The SnapNTrak Series 100 Roof Mount System is an efficient, visually appealing, photovoltaic (PV) module installation system. Series 100 is listed to the UL 2703 for grounding/bonding and fire classification. The System's components provide an adequate bonding path which has eliminated the need for grounding lugs and washers at each module, and bonding jumpers between splices. In addition to grounding and bonding, the roof mount system, Series 100, is Class A Fire Rated when installed with Type I and Type II Modules. SnapNTrak's UL 2703 Certification and Compliance ensures that SnapNTrak installers can continue to provide the best in class installations in quality, safety and efficiency.

- Appealing design with built-in aesthetics
- No grounding lugs required for modules
- All bonding hardware is fully integrated into the components
- Rail splices bond rails together, no rail jumpers required
- Proprietary SnapTrack grounding lug snaps in the rail channel
- No drilling of rail or reaching for other tools required
- Class A Fire Rating for Type 1 and 2 modules



### System Features Include



UL 2703 Certified

**SERIES 100 TECHNICAL DATA**

## Materials

- 6000 Series aluminum

### Material Finish

- Galvanized steel and aluminum flashing
- Clear and black anodized aluminum

Note: Appearance of all fresh products may vary and change over time.

### Cals. & Certifications

- Listed to UL Standard 2703 for Grounding/Bonding and Fire Classification
- Class A, Fire Rating Type 1 and Type 2 modules

## Grounding

- SnapTrack Grounding Lug (One lug per individual row of modules)
- Integrated bonding components

## Warranty

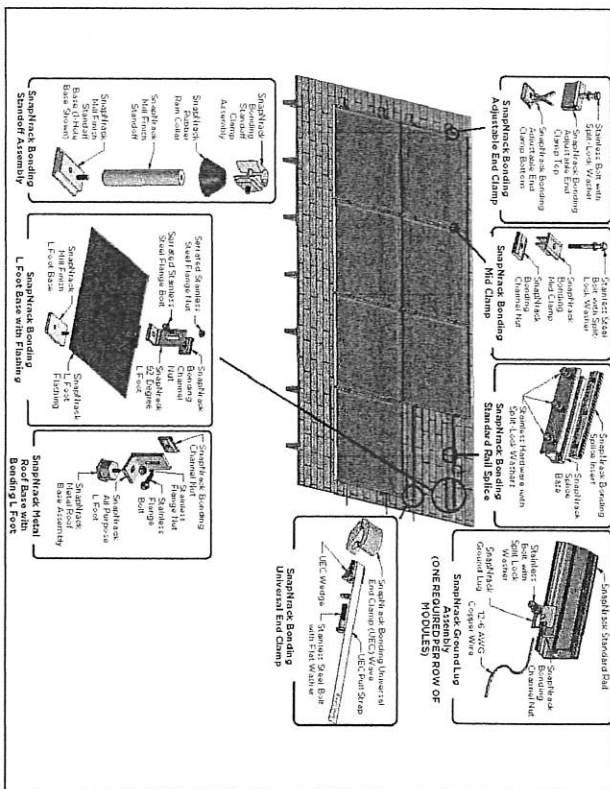
10 year limited product warranty. 5 year limited finish warranty.

877-732-2860

[www.snapnack.com](http://www.snapnack.com)

contact@snaprack.com

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Resources [snapntrack.com/resources](https://snapntrack.com/resources) Design [snapntrack.com](https://snapntrack.com) Where to Buy [snapntrack.com/buy](https://snapntrack.com/buy)

CS-R

SOLAR READY SOLUTIONS

Last Modified: 5/12/2016

SOLZE RESIDENCE  
1973 S 1150 E  
Bountiful, UT 84010



MAYOR  
RANDY LEWIS

CITY COUNCIL  
RICHARD HIGGINSON  
BETH HOLBROOK  
JOHN M. (MARC) KNIGHT  
KENDALYN HARRIS  
JOHN PITT

CITY MANAGER  
GARY R. HILL

## **Memo**

Date: June 6, 2016  
To: Administrative Committee  
From: Andy Hulka, Assistant Planner  
Re: Staff Report for the Administrative Committee Meeting on Monday, June 13, 2016

## **Overview**

4. **PUBLIC HEARING** - Consider approval of a Conditional Use Permit to allow for a Home Occupation Contractor Business (plumbing) at 555 North 1200 East, Dan Rast, applicant.

## **Item #4**

### **Background**

The property where the Home Occupation Construction Business is proposed is located in the R-3 Single Family Zone. Home Occupation Contractor Businesses in this zone are classified in the City Ordinance as requiring a Conditional Use Permit.

### **Findings**

The application submitted indicates that the property will be used as a residential office for a contractor business. The applicant has indicated that he will be using a 375 square foot space in the home for the office. The applicant uses his personal truck for the business, which will be parked in the driveway or in the garage. The applicant plans to use a van for the business instead of his truck in the future, which would also be parked in the garage or the driveway along the side of the home. The applicant has no equipment to store beyond what is on his truck. There will be no employees working on site. The applicant has indicated that no work will be performed on site, no product will be sold from the property, and no customers will visit the site. There will be no signage on the property associated with the business. The use appears to be incidental and secondary to the use of the dwelling and shall not change the appearance, character, or condition of the property.

### **Staff Recommendation**

Based on the findings, staff has determined that the applicant would comply with all requirements for the conditional use permit. Staff recommends approval of the Conditional Use Permit with the following conditions:

1. The applicant shall maintain an active Bountiful City business license.
2. The Home Occupation will not create nuisances discernible beyond the premises (e.g. noise, dust, fumes, glare, traffic, etc.).
3. The use will comply with all applicable fire, building, plumbing, electrical, and life safety and health codes in the State of Utah, Davis County, and Bountiful City.
4. The Conditional Use Permit is solely for this site and is non-transferable.

## **Bountiful Land Use Ordinance**

### **14-17-105 HOME OCCUPATION REQUIREMENTS**

A proposed home occupation use shall meet the following criteria to qualify for a Home Occupation Business License:

- A. The use shall be clearly incidental and secondary to the use of the dwelling and shall not change the appearance, character, or condition thereof. There shall be no displays, advertisements, stock in trade, or signs related to the business except for: one (1) flat wall sign placed on the dwelling that shall not exceed four (4) square feet in size, and any sign required by State Law and/or which meet the provisions of this Title.
- B. The use shall be conducted entirely within a dwelling, except for work performed offsite. Only members of the family related by blood, marriage, or adoption, and who reside in the dwelling, may work onsite. The only exception is that one (1) additional person may be employed as a secretary, apprentice, or assistant where there are no more than five (5) family members actively engaged in the home occupation. Employees who are not family members and/or who do not reside at the dwelling shall not meet, park, or otherwise congregate at the home or in the general vicinity. Additional outside employees are not allowed if there is more than one home occupation at the property.
- C. The use shall not involve more than 50% of the entire dwelling.
- D. The use shall not involve the area of required, covered, off-street parking.
- E. No product or commodity shall be stored onsite, and no customer may physically visit the site of a home occupation to take delivery of a product or commodity. Commodities may be produced on the premises and sold offsite.
- F. The use shall not create noise, dust, odors, noxious fumes, glare, or other nuisances, including interruption of radio and/or television reception, which are discernible beyond the premises.
- G. The use shall not involve using or storing flammable material, explosives, or other dangerous materials, including gun powder.
- H. The use shall not involve mechanical or electrical apparatus, equipment, or tools not commonly associated with a residential use or as are customary to home crafts.
- I. The use shall not generate traffic in greater volumes than would normally be expected in a residential neighborhood nor involve the use of commercial vehicles other than standard delivery vehicles for delivery of materials to or from the premises.
- J. The use shall not involve the parking of equipment or motor vehicles having a gross weight of twelve thousand (12,000) pounds or more directly at the residence.
- K. The use shall be in compliance with all applicable fire, building, plumbing, electrical and life safety and health codes of the State of Utah, Davis County, and the City of Bountiful.
- L. The residence and property may be inspected from time to time to determine continued compliance with the provisions of this Ordinance and other applicable codes.

### **14-17-108 HOME OCCUPATION CONDITIONAL USES**

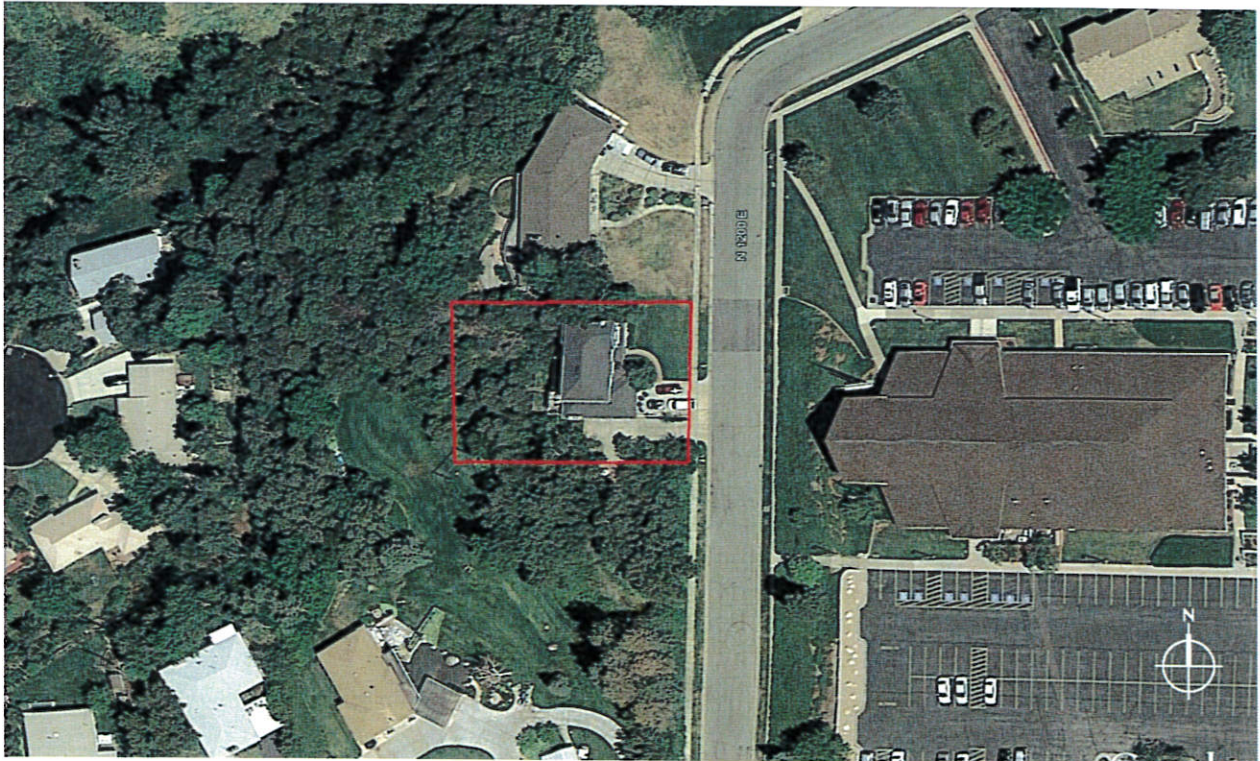
Home occupations in the following areas of work are conditional uses, and licenses may be issued for them only if a conditional use permit is granted following notice and a public hearing:

- A. Lawn care and/or landscaping,
- B. Construction and/or contracting,
- C. Snow removal,



- D. Residential day care or group instruction facilities with more than eight (8) people,
- E. A home occupation office use may be allowed in a detached accessory structure in accordance with the following:
1. The total office area, including a restroom and any storage space, shall not exceed three hundred (300) square feet.
  2. The office shall not be located in an area of required, covered, off-street parking.
  3. No part of the office space shall be utilized if the required, covered, off-street parking is being utilized for a purpose other than parking.
  4. The only retail activity allowed is that transacted electronically or by mail. Any retail activity involving the physical delivery of goods or persons to the property is expressly prohibited.
  5. A home occupation office in a detached accessory structure shall be deemed unlawful and shall not be occupied unless the owner has recorded a deed restriction on the property stating that the use of the property is for a single family dwelling, and that the office space shall only be used in accordance with the provisions of the Bountiful City Land Use Ordinance as it may be amended from time to time.

## 555 N 1200 E



**For Office Use Only**Date Rec'd 6-1-16Application \$ 50Zone R-3**CONDITIONAL USE PERMIT APPLICATION**Date of Submittal: June 1 2016Property Address: 555 N 1200 EApplicant Name: Dan RastApplicant Address: SameApplicant Phone #: 801 455-9191Applicant E-Mail: rast\_dan@hotmail.comAuthorization (Owner Signature): Dan Rast*(If applicant is not owner, applicant must submit notarized authorization from all property owners)*

**Project Name and Description:** Home business, no warehousing  
office + place to park Truck- No Employees  
Working out of Truck.

**Committee**

Administrative Committee \$50.00 (application fee)



Planning Commission \$250.00 (application fee)

- The Site Plan Review Committee will review complete applications prior to review by the Planning Commission.



*The application must be signed and notarized by each property owner or authorized agent(s).*

## Property Owners Affidavit

I (we) Dan Rast, being first duly sworn, depose and say that I (we) am (are) the current owner(s) of the property involved in this application: that I (we) have read the application and attached plans and other exhibits and are familiar with its contents; and that said contents are in all respects true and correct based upon my (our) personal knowledge.

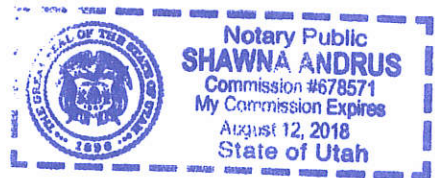
Dan Rast  
Owner's Signature

\_\_\_\_\_  
Owner's Signature (co-owner if any)

State of Utah                    )  
  §  
County of Davis                )

Subscribed and sworn to before me this 1<sup>st</sup> day of June, 2016.

Notary Public: Shawna Andrus



## Agent Authorization

I (we), \_\_\_\_\_, the owner(s) of the real property located at \_\_\_\_\_, in Bountiful City, Utah, do hereby appoint \_\_\_\_\_, as my (our) agent to represent me (us) with regard to this application affecting the above described real property, and authorize the aforementioned agent to appear on my (our) behalf before any City board or commission considering this application.

\_\_\_\_\_  
Owner's Signature

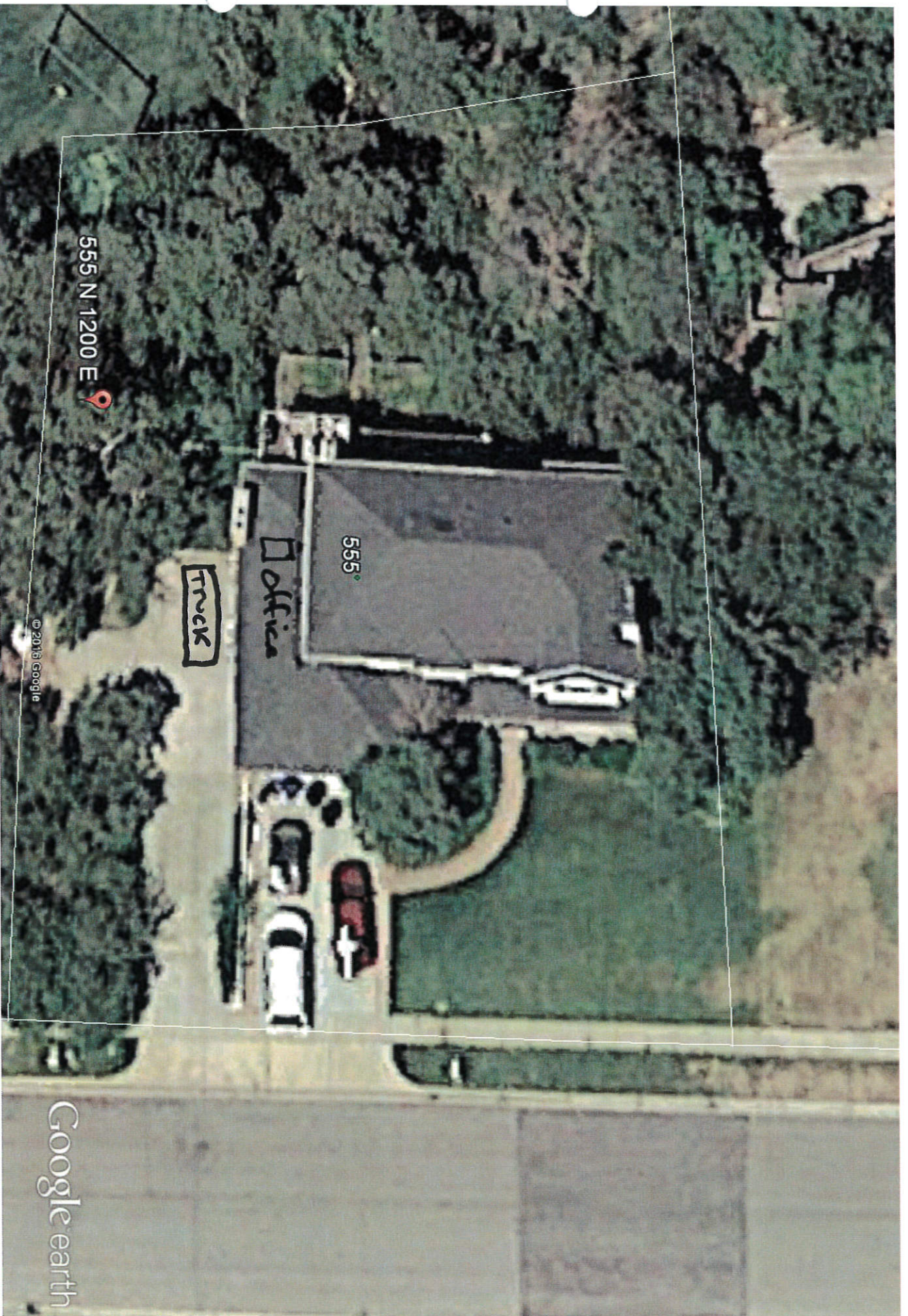
\_\_\_\_\_  
Owner's Signature (co-owner if any)

State of Utah                    )  
  §  
County of Davis                )

On the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, personally appeared before me \_\_\_\_\_ the signer(s) of the above *Agent Authorization* who duly acknowledge to me that they executed the same.

Notary Public: \_\_\_\_\_





© 2016 Google

Google earth

feet  
meters

100

40







MAYOR  
RANDY LEWIS

CITY COUNCIL  
RICHARD HIGGINSON  
BETH HOLBROOK  
JOHN M. (MARC) KNIGHT  
KENDALYN HARRIS  
JOHN PITT

CITY MANAGER  
GARY R. HILL

## **Memo**

Date: June 6, 2016  
To: Administrative Committee  
From: Andy Hulka, Assistant Planner  
Re: Staff Report for the Administrative Committee Meeting on Monday, June 13, 2016

## **Overview**

**5. PUBLIC HEARING:** Consider approval of a Conditional Use Permit to allow for a Home Occupation Landscaping Business (flower bed maintenance) at 12 West 1800 South, Tiffani Hubbard, applicant.

## **Item #5**

### **Background**

The property where the landscaping business is proposed is located in the R-4 Single Family Zone. Home Occupation Landscaping Businesses in this zone are classified in the City Ordinance as requiring a Conditional Use Permit.

### **Findings**

The application submitted indicates that the applicant will only use hand tools stored in the garage for the flower bed maintenance business. This approval is not limited to flower bed weeding but could also include other landscaping activities provided the business still complies with the standards of the code. The applicant will use her personal vehicle for the business, which will be parked in the garage. The applicant will not be using any space in the home as an office for the business. The applicant indicates that there is no large equipment or chemical storage and that no customers or employees will visit the site. The applicant has indicated that no work will be performed on site and no product will be sold from the property. There will be no signage on the property associated with the business. The use appears to be incidental and secondary to the use of the dwelling and shall not change the appearance, character, or condition of the property.

### **Staff Recommendation**

Based on the findings, staff has determined that the applicant would comply with all requirements for the conditional use permit. Staff recommends approval of the Conditional Use Permit with the following conditions:

1. The applicant shall maintain an active Bountiful City business license.

2. The Home Occupation will not create nuisances discernible beyond the premises (e.g. noise, dust, fumes, glare, traffic, etc.).
3. The use will comply with all applicable fire, building, plumbing, electrical, and life safety and health codes in the State of Utah, Davis County, and Bountiful City.
4. The use shall not include any outside storage at the residence.
5. The Conditional Use Permit is solely for this site and is non-transferable.

## **Bountiful Land Use Ordinance**

### **14-17-105 HOME OCCUPATION REQUIREMENTS**

A proposed home occupation use shall meet the following criteria to qualify for a Home Occupation Business License:

- A. The use shall be clearly incidental and secondary to the use of the dwelling and shall not change the appearance, character, or condition thereof. There shall be no displays, advertisements, stock in trade, or signs related to the business except for: one (1) flat wall sign placed on the dwelling that shall not exceed four (4) square feet in size, and any sign required by State Law and/or which meet the provisions of this Title.
- B. The use shall be conducted entirely within a dwelling, except for work performed offsite. Only members of the family related by blood, marriage, or adoption, and who reside in the dwelling, may work onsite. The only exception is that one (1) additional person may be employed as a secretary, apprentice, or assistant where there are no more than five (5) family members actively engaged in the home occupation. Employees who are not family members and/or who do not reside at the dwelling shall not meet, park, or otherwise congregate at the home or in the general vicinity. Additional outside employees are not allowed if there is more than one home occupation at the property.
- C. The use shall not involve more than 50% of the entire dwelling.
- D. The use shall not involve the area of required, covered, off-street parking.
- E. No product or commodity shall be stored onsite, and no customer may physically visit the site of a home occupation to take delivery of a product or commodity. Commodities may be produced on the premises and sold offsite.
- F. The use shall not create noise, dust, odors, noxious fumes, glare, or other nuisances, including interruption of radio and/or television reception, which are discernible beyond the premises.
- G. The use shall not involve using or storing flammable material, explosives, or other dangerous materials, including gun powder.
- H. The use shall not involve mechanical or electrical apparatus, equipment, or tools not commonly associated with a residential use or as are customary to home crafts.
- I. The use shall not generate traffic in greater volumes than would normally be expected in a residential neighborhood nor involve the use of commercial vehicles other than standard delivery vehicles for delivery of materials to or from the premises.
- J. The use shall not involve the parking of equipment or motor vehicles having a gross weight of twelve thousand (12,000) pounds or more directly at the residence.
- K. The use shall be in compliance with all applicable fire, building, plumbing, electrical and life safety and health codes of the State of Utah, Davis County, and the City of Bountiful.
- L. The residence and property may be inspected from time to time to determine continued compliance with the provisions of this Ordinance and other applicable codes.

### **14-17-108 HOME OCCUPATION CONDITIONAL USES**



Home occupations in the following areas of work are conditional uses, and licenses may be issued for them only if a conditional use permit is granted following notice and a public hearing:

- A. Lawn care and/or landscaping,
- B. Construction and/or contracting,
- C. Snow removal,
- D. Residential day care or group instruction facilities with more than eight (8) people,
- E. A home occupation office use may be allowed in a detached accessory structure in accordance with the following:
  - 1. The total office area, including a restroom and any storage space, shall not exceed three hundred (300) square feet.
  - 2. The office shall not be located in an area of required, covered, off-street parking.
  - 3. No part of the office space shall be utilized if the required, covered, off-street parking is being utilized for a purpose other than parking.
  - 4. The only retail activity allowed is that transacted electronically or by mail. Any retail activity involving the physical delivery of goods or persons to the property is expressly prohibited.
  - 5. A home occupation office in a detached accessory structure shall be deemed unlawful and shall not be occupied unless the owner has recorded a deed restriction on the property stating that the use of the property is for a single family dwelling, and that the office space shall only be used in accordance with the provisions of the Bountiful City Land Use Ordinance as it may be amended from time to time.

## 12 W 1800 S





For Office Use Only

Date Rec'd 6-2-14

Application \$ 50<sup>00</sup>

Zone R-4

## CONDITIONAL USE PERMIT APPLICATION

Date of Submittal: June 2 2016

Property Address: 12 West 1800 South Bountiful UT 84010

Applicant Name: Tiffany Hubbard

Applicant Address: 12 West 1800 South Bountiful UT 84010

Applicant Phone #: 801 499-2719

Applicant E-Mail: rtahb@hotmail.com

Authorization (Owner Signature): Tiffany D. Hubbard

*(If applicant is not owner, applicant must submit notarized authorization from all property owners)*

Project Name and Description: Flower bed maintenance

### Committee

☒ Administrative Committee \$50.00 (application fee)

☐ Planning Commission \$250.00 (application fee)

- The Site Plan Review Committee will review complete applications prior to review by the Planning Commission.



The application must be signed and notarized by each property owner or authorized agent(s).

## Property Owners Affidavit

I (we) Tiffoni Darlene Hubbard, being first duly sworn, depose and say that I (we) am (are) the current owner(s) of the property involved in this application: that I (we) have read the application and attached plans and other exhibits and are familiar with its contents; and that said contents are in all respects true and correct based upon my (our) personal knowledge.

Tiffoni D. Hubbard  
Owner's Signature

\_\_\_\_\_  
Owner's Signature (co-owner if any)

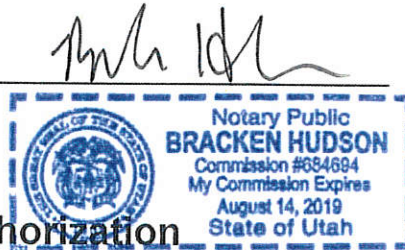
State of Utah )

§

County of Davis )

Subscribed and sworn to before me this 2<sup>nd</sup> day of June, 2016.

Notary Public:



## Agent Authorization

I (we), \_\_\_\_\_, the owner(s) of the real property located at \_\_\_\_\_, in Bountiful City, Utah, do hereby appoint \_\_\_\_\_, as my (our) agent to represent me (us) with regard to this application affecting the above described real property, and authorize the aforementioned agent to appear on my (our) behalf before any City board or commission considering this application.

\_\_\_\_\_  
Owner's Signature

\_\_\_\_\_  
Owner's Signature (co-owner if any)

State of Utah )

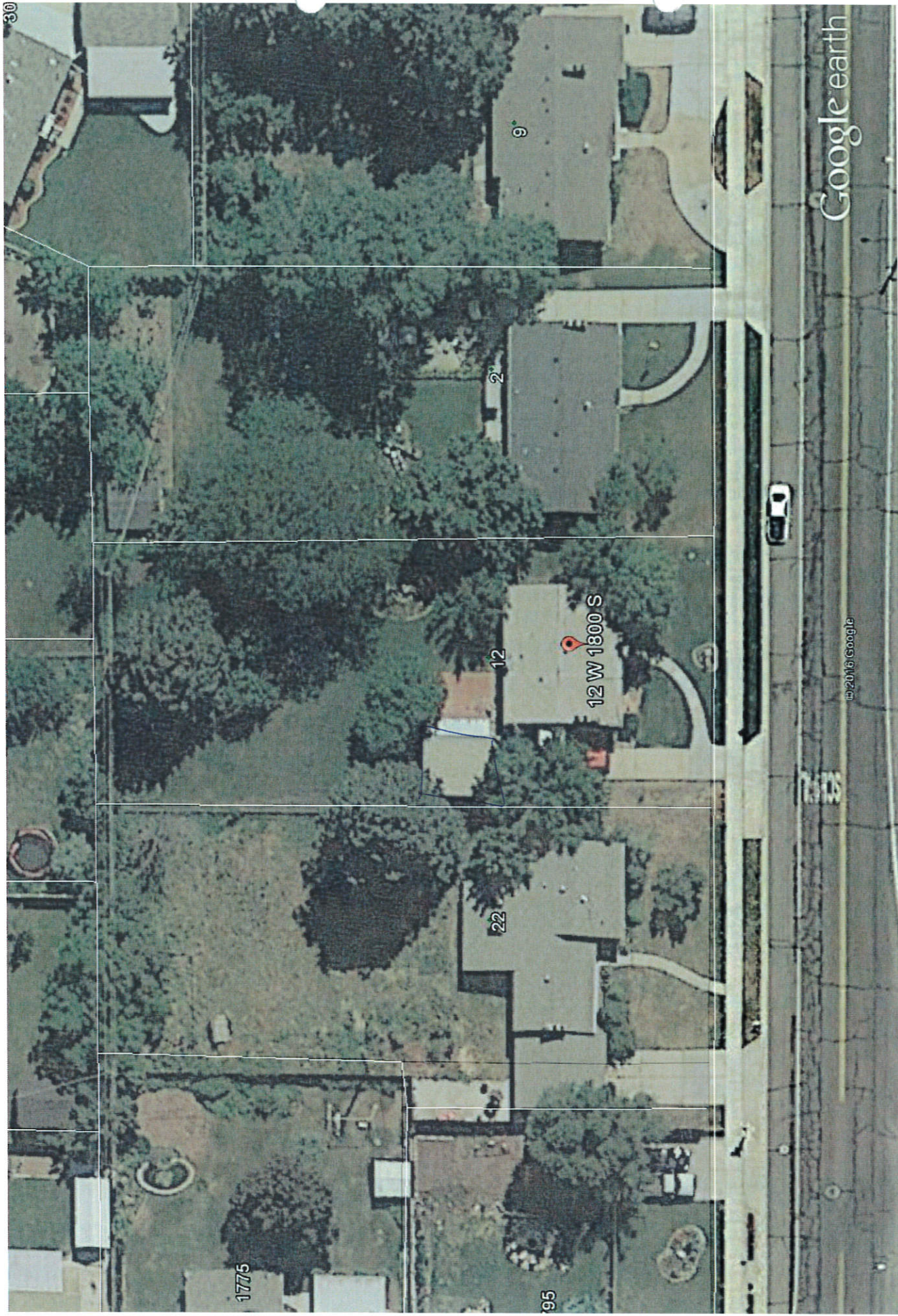
§

County of Davis )

On the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, personally appeared before me \_\_\_\_\_ the signer(s) of the above *Agent Authorization* who duly acknowledge to me that they executed the same.

Notary Public: \_\_\_\_\_





Google earth

feet  
meters

200

70



- no employees  
- no chemicals  
- equipment is stored in garage.





MAYOR  
RANDY LEWIS

CITY COUNCIL  
RICHARD HIGGINSON  
BETH HOLBROOK  
JOHN M. (MARC) KNIGHT  
KENDALYN HARRIS  
JOHN PITT

CITY MANAGER  
GARY R. HILL

## **Bountiful City, Utah Conditional Use Permit**

A public hearing was held on May 31, 2016, at Bountiful City Hall to consider the request of Kevin Kellersberger for a Conditional Use Permit allowing for a Private Power Plant (Solar Panels) at the following location:

**143 East 1400 South, Bountiful City, Davis County, Utah**

**ALL OF LOT 26, COLONIAL SUB. CONT. 0.30 ACRES**

**Parcel: 03-081-0026**

The Bountiful City Administrative Committee heard the matter and considered the statements of the applicant, the City staff, and the public. As a result, the Administrative Committee makes the following findings:

1. This matter is properly heard before the Administrative Committee.
2. Appropriate public notice has been provided and a public hearing held.
3. The proposed request to operate a Private Power Plant (Solar Panels) meets the letter and the intent of the specific requirements in §14-2 and 14-14 et seq (Conditional Use Permit provisions) of the Bountiful City Land Use Ordinance.

The Bountiful City Administrative Committee hereby grants this Conditional Use Permit for a Private Power Plant (Solar Panels) to be located at 143 East 1400 South, in Bountiful, Davis County, Utah, with the following conditions:

1. The applicant shall obtain a building permit.
2. The panels must be installed only as proposed in the application.
3. This conditional use permit is solely for this site and is non-transferable.

The Conditional Use Permit was approved on May 31, 2016, and this written form was approved this 13th day of June, 2016.

---

Chad Wilkinson  
Planning Director

---

ATTEST: Julie Holmgren  
Recording Secretary



RANDY C. LEWIS  
MAYOR

CITY COUNCIL  
Kendalyn Harris  
Richard Higginson  
Beth Holbrook  
John Marc Knight  
John S. Pitt

CITY MANAGER  
Gary R. Hill

## **Bountiful City, Utah Conditional Use Permit**

A public hearing was held on May 31, 2016, at Bountiful City Hall to consider the request of Darin Fenwick, for a Conditional Use Permit allowing a Home Occupation Construction Business at the following location:

**1682 South 1175 East, Bountiful City, Davis County, Utah**

**ALL OF LOT 49, BOUNTIFUL HILLS D. CONT. 0.23 ACRES.**

**Parcel 04-104-0049**

The Bountiful City Administrative Committee heard the matter and considered the statements of the applicant, the City staff, and the public. As a result, the Administrative Committee makes the following findings:

1. This matter is properly heard before the Administrative Committee.
2. Appropriate public notice has been provided and a public hearing held.
3. The proposed request to operate a construction business meets the letter and the intent of the specific requirements in §14-17 et seq (Conditional Use Permit provisions) of the Bountiful City Land Use Ordinance.

The Bountiful City Administrative Committee hereby grants this Conditional Use Permit for Darin Fenwick to operate a construction business located at 1682 South 1175 East, in Bountiful, Davis County, Utah, with the following conditions:

1. The applicant shall maintain an active Bountiful City business license.
2. The Home Occupation will not create nuisances discernible beyond the premises (e.g. noise, dust, fumes, glare, traffic, etc.).
3. The use will comply with all applicable fire, building, plumbing, electrical, and life safety and health codes in the State of Utah, Davis County, and Bountiful City.
4. The Conditional Use Permit is solely for this site and is non-transferable.

The Conditional Use Permit was approved on May 31, 2016, and this written form was approved this 13th day of June, 2016.

---

Chad Wilkinson  
Planning Director

---

ATTEST: Julie Holmgren  
Recording Secretary